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Planning Commission Agenda  
Monday, June 08, 2026, 6:00 pm  
Perry City Hall, 808 Carroll Street, Perry

1. Call to Order
2. Roll Call
3. Invocation
4. Approval of Minutes from May 11, 2026, regular meeting and work session of April 27, 2026
5. Announcements
  - Per O.C.G.A. 36-67A-3 if any opponent of a rezoning or annexation application has made campaign contributions and/or provided gifts totaling \$250 or more within the past two years to a local government official who will consider the application, the opponent must file a disclosure statement.
  - Policies and Procedures for Conducting Zoning Hearings are available at the entrance.
  - Please place phones in silent mode.
6. Citizens with Input
7. Old Business – Tabled from May 11, 2026, meeting
  1. **TEXT-0041-2026.** Amendment to Subsection 6-9.6, Nonresidential district sign standards, IC, Interstate Corridor Overlay District. Amendment to establish permitting guidelines for monument monopole signs and ground flags. The applicant is the City of Perry.
8. New Business
  - A. Informational Hearing (Planning Commission recommendation – Scheduled for public hearing before City Council on July 7, 2026)
    1. **RZNE-0066-2026.** Rezone property located at 2107 N Hwy 41, from R-3 to C-2, General Commercial District. The applicant is Marcus Northern.
  - B. Other Business
  - C. Commission questions or comments
  - D. Adjournment

All meetings of the Planning Commission are open to the public.

(478) 988-2720

<https://perry-ga.gov/business-services/community-development/planning-and-zoning>

Planning Commission Agenda  
Minutes - May 11, 2026

1. Call to Order : Chairman Mehserle called the meeting order to order at 6:00pm.
2. Roll Call - Chairman Mehserle; Commissioners Guidry, Hayes, Ross, and Story were present. Commissioner Shelton was absent.

Staff: Holly Wharton – Interim Community Development Director and Christine Sewell – Recording Clerk

Guests: Joshua Ratchford, Terry Dietsch, Joe Nash, Casey Graham, Chuck Thomas, and John Colson

3. Invocation - was given by Chairman Mehserle
4. Approval of Minutes from April 13, 2026, regular meeting – Commissioner Guidry motioned to approve as submitted; Commissioner Hayes seconded; all in favor and was unanimously approved.
5. Announcements - Chairman Mehserle referred to the notices as listed
  - Per O.C.G.A. 36-67A-3 if any opponent of a rezoning or annexation application has made campaign contributions and/or provided gifts totaling \$250 or more within the past two years to a local government official who will consider the application, the opponent must file a disclosure statement.
  - Policies and Procedures for Conducting Zoning Hearings are available at the entrance.
  - Please place phones in silent mode.
6. Citizens with Input – None
7. Old Business – None
8. New Business

A. Informational Hearing (Planning Commission recommendation – Scheduled for public hearing before City Council on June 2, 2026)

1. **SUSE-0051-2026**. Special exception for short-term rental for property located at 814 Oak Ridge Drive. The applicant is Ratchford & Hart STR, LLC.

Ms. Wharton read the applicants' request which was to offer the entire dwelling as a short-term rental, for a maximum of ten persons, along with staff responses.

Chairman Meshserle opened the public hearing at 6:06pm and called for anyone in favor of the request. The applicant, Mr. Joshua Ratchford, reiterated the request and had nothing further to add. Chairman Mehserle called for anyone opposed; there being none the public hearing was closed at 6:08pm.

Commissioner Ross motioned to recommend approval of the application as presented to Mayor and Council; Commissioner Hayes seconded; all in favor was unanimously recommended for approval.

2. **RZNE-0047-2026**. Rezone property located at 2520 Hwy 127 from C-2 to GU, Government Use. The applicant is the Houston County Board of Commissioners.

Ms. Wharton read the applicants' request, which was to rezone 5.67 acres of Parcel oPo490 085000 (formerly a portion of Parcel oPo490 017000) for a Water Supply and Treatment Facility. The lot is proposed to be zoned GU, Governmental Use, along with staff responses.

Chairman Mehserle opened the public hearing at 6:10 pm and called for anyone in favor of the request. Mr. Terry Dietsch – Houston County Utility Director – reiterated the request and advised the county will use as their water treatment facility for the area.

Chairman Mehserle called for anyone opposed. Mr. Joe Nash – 121 Bella Court – hadn't been aware of the county's intention, and is concerned about the noise from the plant, and he has met with Mr. Dietsch, but wanted the record to note the concern. Mr. Dietsch advised there will be sound mitigation measures taken with block wall barriers which will reduce the sound when the pump is running and this will be directed towards the adjacent medical offices and not the homes.

There being no further public comment Chairman Mehserle closed the public hearing at 6:12pm.

Commissioner Story motioned to recommend approval to Mayor and Council of the application as presented; Commissioner Ross seconded; all in favor and was unanimously recommended for approval.

**3. ANNEX-0052-2026.** Annex and rezone property on Kings Chapel Road, Parcel No. 000820 01600 from Houston County R-AG to City of Perry R-3, Single Family Residential District. The applicant is CCCR Development, LLC .

Ms. Wharton read the applicants' request, along with staff responses, which was for the annexation and zoning of 35.59 acres from R-AG (County) to R-3 Single Family Residential that will be developed into a single-family residential subdivision, if approved.

Chairman Mehserle opened the public hearing at 6:20 pm and called for anyone in favor of the request. Mr. Casey Graham – 253 Carl Vinson Pkway – engineer of record advised the parcel is north of the existing Avington Glen subdivision and it will be developed with the same product in that subdivision which will be the 9000 sq ft lots as when it was approved was a conservation subdivision. Stormwater will be on the west side of the property and has been working with the city and fire marshal on the second ingress/egress required; looking to extend New Hope Drive into the 30-foot strip at Kings Chapel.

Chairman Mehserle called for anyone opposed. Mr. John Colson – 102 Obsidian Drive – impact on current infrastructure, traffic – especially at Kings Chapel & Gurr Road – water pressure concerns, and the impact on quality of life.

There being no further public comment Chairman Mehserle closed the public hearing at 6:19pm.

Commissioner Hayes asked Mr. Graham to provide any additional information on the development. Mr. Graham provided a conceptual layout which consisted of a proposed 62 lots with two acres of green space, water will come from the city whereas the existing Avington Glen subdivision is from a master meter with the county. Commissioner Hayes asked if they owned the parcel for emergency access; Mr. Graham advised they did. Commissioner Story advised he had visited the site and the flag lot is used as a road now and it's feasible to put a permanent road there.

Commissioner Hayes motioned to recommend approval of the application as submitted to Mayor & Council; Commissioner Story seconded; all in favor and was unanimously recommended for approval.

**4. TEXT-0040-2026.** Amendment to Subsection 6-9.3, General provisions and definitions; and Subsection 6-9.6, Nonresidential district sign standards. The applicant is the City of Perry.

Ms. Wharton read the request, along with staff responses which was to amend Subsections 6-9.3, *General provisions and definitions*; and Subsection 6-9.6, *Nonresidential district sign standards* to add definition and limits for Unified Building Identifier in response to market dynamics which are encouraging more mixed-use development building concepts, changes proposed are to allow for mixed-use and multi-tenant commercial buildings to be permitted to display building specific signage and

branding in addition to proposed tenant-specific signage at the discretion of the administrator. The term *unified building identifier* supports the intent of the definition and standards proposed.

Chairman Mehserle opened the public hearing and called for anyone in favor or opposition; there being none the public hearing was closed at 6:36pm.

Commissioner Hayes motioned to recommend approval of the application as submitted to Mayor & Council; Commissioner Story seconded; all in favor and was unanimously recommended for approval.

**5. TEXT-0041-2026.** Amendment to Subsection 6-9.6, Nonresidential district sign standards, IC, Interstate Corridor Overlay District. Amendment to establish permitting guidelines for monument monopole signs and ground flags. The applicant is the City of Perry. (*The applicant requested tabling to June 8, 2026, meeting*) – Matter was tabled to the June 8, 2026, meeting per staff request.

**6. TEXT-0042-2026.** Amendment to Section 1-13, Definitions to define a “Vape shop.” Amendment to Section 4-3.3, Standards for specific uses (Commercial uses), to establish regulations regarding the standards required of new vape shops. Amendment to Section 4-1.2, Table of Uses, to establish guidelines for consideration of new vape shops across zoning districts by Special Exception. The application is the City of Perry.

Ms. Wharton read the request, along with staff responses, which was to amend Sections 1-13, *Definitions*; 4-3.3, *Standards for specific uses*; and 4-1.2, *Table of uses* to define a “vape shop” and establish regulations and guidelines for requirement and consideration of new vape shop across zoning districts as a Special Exception. It was further advised vape shops are becoming more prevalent in the surrounding communities. There are certain and specific nuisances that are associated with vape shops and there are currently no defined standards regulating the establishment of this business in the City’s ordinances. The Community Development Department has received feedback from citizens indicating local controls are needed regarding vape shops. The amendment proposed establishes a clear definition and reasonable guidelines to regulate retail operations of vape shops.

Chairman Mehserle opened the public hearing at 6:39pm and called for anyone in favor or opposed to the request; there being none the public hearing was closed at 6:40pm.

Commissioner Hayes motioned to recommend approval of the application as submitted to Mayor & Council; Commissioner Ross seconded; all in favor and was unanimously recommended for approval.

**B. Other Business**

a. Reschedule of May 25, 2026, work session due to holiday – it was the consensus of the Commission to still hold in May and for staff to provide alternate dates.

**C. Commission questions or comments – None**

**D. Adjournment:** there being no further business to come before the Commission, the meeting was adjourned at 6:48pm.

Planning Commission Work Session  
Minutes - April 27, 2026

1. Call to Order: Chairman Mehserle called the meeting to order at 5:00 pm.
2. Roll Call: Chairman Mehserle; Commissioners Guidry, Hayes, Shelton, Ross, and Wharton were present. Commissioner Story was absent.

Staff: Joe Duffy – Community Development Director and Christine Sewell – Recording Clerk

3. Citizens with Input – None
4. Old Business - None
5. New Business
  - a. Residential Design Standards

Mr. Duffy provided for review proposed design standards for single-family detached dwellings and advised the intent was to not have “cookie-cutter” homes where the same structure type is being built over and over; allows for different types of materials.

Discussion and review among the Commission commenced, which outlined architectural details, landscape, windows and façade, architectural variety, what was appropriate and not, along with standards for materials with review of each section. Some questions that arose were should the standards be applied to infill lots; requirements for front-facing garages and accessory structures, landscape, and should it be native to Georgia, parking, affordability, goal of amendment, multi-family standards have been addressed how duplexes are governed.

On conclusion, staff was asked to provide examples of the proposed requirements and requested to take comments and provide additional information from questions/concerns raised, along with further guidance from management.

- b. Revisions to or replacement of [Perry's Tree Protection Ordinance, Sec. 6-4](#)

Mr. Duffy advised management requested review due to recent occurrences and the Commission should review to determine if there should be any changes and an example from Alpharetta was provided. Discussion ensued and it was suggested a tree survey should be required that identifies and locates historic and heritage trees on a parcel, increase penalties, set a percentage for clear cutting, review of removing heritage or historic trees on a case-by-case basis as perhaps a variance, replacement trees and types. On conclusion the Commission requested staff provide additional information for further discussion with ordinances from Hilton Head, Thomasville, Madison and Athens be provided.

6. Chairman Item(s) – None
7. Other Business – Ms. Sewell reviewed the items listed
  - a. Review items for May 11, 2026, informational/public hearings
  - b. Update on City Council zoning decisions

8. Adjournment: there being no further business to come before the Commission, the meeting was adjourned at 7:28 pm.

DRAFT



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## **STAFF REPORT**

From the Department of Community Development  
June 2, 2026

**CASE NUMBER:** RZNE 066-2026  
**APPLICANT:** Marcus Northern  
**REQUEST:** Rezone from R-3, Single Family Residential District to C-2 General Commercial District  
**LOCATION:** 2107 North Highway 41; Tax Map Parcel 0P41A0 182000

**BACKGROUND INFORMATION:** The applicant proposes to rezone 1.0 acre from R-3, Single Family Residential District. The lot is proposed to be zoned C-2, General Commercial District, for use as a real estate office.

### **STANDARDS GOVERNING ZONE CHANGES:**

Are there covenants and restrictions pertaining to the property which would preclude the uses permitted in the proposed zoning district? The applicant is not aware of any covenants or restrictions pertaining to this parcel.

#### **1. The existing land uses and zoning classifications of nearby property.**

	Zoning	Land Use
North	R-3 Single Family Residential	Religious Facility
South	C-1 Commercial (COUNTY)	Commercial Storage
East	R-AG Residential Agricultural (COUNTY)	Cemetery
West	R-3 Single Family Residential	Religious Facility

#### **2. Does the proposed zoning classification comply with the Comprehensive Plan and other adopted plans applicable to the subject property?**

Yes. The property is located in the In-Town corridor character area in the 2022 Joint Comprehensive Plan. These corridors can be nodes for mixed-use development and aesthetically attractive commercial centers.

#### **3. Are all of the uses permitted in the proposed zoning classification compatible with existing uses on adjacent and nearby properties?**

There are some C-2 uses that are not compatible with existing uses on adjacent properties but these uses would be limited on this property due to the size (1.0 acre). There are a religious institution and a cemetery nearby.

4. ***Will any of the uses permitted in the proposed zoning classification cause adverse impacts to adjacent and nearby properties?***

The proposed general commercial use will not have an adverse impact on adjacent and nearby properties.

5. ***Would any of the permitted uses and density allowed in the proposed zoning classification cause an excessive burden on existing streets, utilities, city services, or schools?***

No, the proposed use will not cause an excessive burden on streets, schools or city services.

6. **Do existing or changing conditions in the area support either approval or disapproval of the proposed zoning classification?** Continued growth in Houston County and Perry support commercial uses in the highway corridors.

7. **Does the subject property have a reasonable economic use as currently zoned?** Yes, Single Family dwellings are allowed in the C-2 General Commercial District.

**STAFF RECOMMENDATION:**

Staff recommends approval of the rezone from R-3, Single Family Residential District, to C-2, General Commercial District.



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Application # RZNE 0066-2026

**Application for Rezoning**  
 Contact Community Development (478) 988-2720

\*Indicates Required Field

	*Applicant	*Property Owner
*Name	Marcus Northern	Milton Wynn
*Title	Future Owner/ Qualifying Broker	Owner
*Address	204 Altamaha Way Bonaire GA 31005	101 Dowdy Ct. Perry, GA 31069
*Phone	[REDACTED]	[REDACTED]
*Email	[REDACTED]	[REDACTED]

**Property Information**

*Street Address or Location	2107 N Highway 41, Perry GA 31069
*Tax Map Number(s)	0P41A0 182000
*Legal Description	A. Provide a copy of the deed as recorded in the County Courthouse, or a metes and bounds description of the land if a deed is not available; B. Provide a survey plat of the property; <b>Deed &amp; Survey Plat attached</b>

**Request**

*Current Zoning District	R-3	*Proposed Zoning District	C-2
*Please describe the existing and proposed use of the property <u>Note: A Site Plan or other information which fully describes your proposal may benefit your application.</u> The subject property is located along Highway 41, a major corridor suitable for transitional uses. The existing structure is better suited for commercial use than residential use and aligns with corridor development patterns.			

**Instructions**

- The application and fee (made payable to the City of Perry) must be received by the Community Development Office no later than the date reflected on the attached schedule.
- \*Fees:
  - Residential Zoning (R-Ag, R-1, R-2, R-3) - \$325.00 plus \$28.00/acre
  - Non-residential Zoning (other than R-Ag, R-1, R-2, R-3) - \$543.00 plus \$43.00/acre
- \*The applicant/owner must respond to the 'standards' on page 2 of this application (The applicant bears the burden of proof to demonstrate that the application complies with these standards). See Sections 2-2 and 2-3.1 of the Land Management Ordinance for more information. You may include additional pages when addressing the standards.
- The staff will review the application to verify that all required information has been submitted. The staff will contact the applicant with a list of any deficiencies which must be corrected prior to placing the application on the planning commission agenda.
- Rezoning applications require an informational hearing before the planning commission and a public hearing before City Council. Public hearing sign(s) will be posted on the property at least 15 days prior to the scheduled hearing dates.
- \*The applicant must be present at the hearings to present the application and answer questions that may arise.
- \*Campaign Notice required by O.C.G.A. Section 36-67A-3: Within the past two years has the applicant made either campaign contributions and/or gifts totaling \$250.00 or more to a local government official? "Applicant" is defined as any person who applies for a rezoning action and any attorney or other person representing or acting on behalf of a person who applies for a rezoning action. Yes \_\_\_ No X  
 If yes, please complete and submit a Disclosure Form available from the Community Development office.

Application for Rezoning – Page 2

8. The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information, is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

9. Signatures:

<b>*Applicant</b> Marcus Northern	<small>DocuSigned by:</small> <i>Marcus Northern</i>	<b>*Date</b> 5/4/2026
<b>*Property Owner/Authorized Agent</b> Milton Wynn	<small>SIGNATURE PK: 18A4B7</small> <i>Milton Wynn</i>	<b>*Date</b> 5/4/2026

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**Standards for Granting a Rezoning**

***The applicant bears the burden of proof to demonstrate that an application complies with these standards.***

Are there covenants and restrictions pertaining to the property which would preclude the uses permitted in the proposed zoning district?

- (1) Whether the proposed zoning classification complies with the Comprehensive Plan and other adopted plans applicable to the subject property;
- (2) Whether all of the uses permitted in the proposed zoning classification are compatible with existing uses on adjacent and nearby properties;
- (3) Whether any of the uses permitted in the proposed zoning classification will cause adverse impacts to adjacent and nearby properties;
- (4) Whether any of the permitted uses and density allowed in the proposed zoning classification will cause an excessive burden on existing streets, utilities, city services, or schools;
- (5) Whether there are existing or changing conditions in the area which support either approval or disapproval of the proposed zoning classification; and
- (6) Whether the subject property has a reasonable economic use as currently zoned.

Answers attached; labeled Standards for Granting a Rezoning C-2

## **REZONING STANDARDS – C-2 (GENERAL COMMERCIAL)**

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### **(1) Compliance with Comprehensive Plan**

**Answer:**

The proposed C-2 (General Commercial) zoning is consistent with the City of Perry's Comprehensive Plan as the subject property is located along Highway 41, a primary transportation corridor intended to support a range of commercial and mixed-use development. The request represents a logical progression of land use intensity along a major roadway where commercial activity is appropriate and encouraged.

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### **(2) Compatibility with Adjacent and Nearby Uses**

**Answer:**

The uses permitted under C-2 zoning are compatible with surrounding properties due to the subject property's location along a major highway corridor. The property is not situated within the interior of a residential neighborhood and is more appropriately suited for commercial or transitional uses. The proposed commercial classification will align with existing and future development patterns along Highway 41.

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### **(3) Adverse Impacts on Adjacent Properties**

**Answer:**

The proposed rezoning to C-2 will not create adverse impacts on adjacent or nearby properties. Any future development will be subject to site plan review, buffering requirements, and applicable development standards to ensure compatibility. Additionally, the location along a major roadway minimizes the potential for disruption to residential areas.

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### **(4) Impact on Streets, Utilities, Schools, and Services**

**Answer:**

The property has direct access to Highway 41, which is designed to accommodate higher traffic volumes associated with commercial activity. Existing infrastructure, including utilities and

roadway capacity, is sufficient to support C-2 uses. The proposed zoning will not place an excessive burden on public services or schools.

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**(5) Existing or Changing Conditions in the Area**

**Answer:**

The area surrounding Highway 41 is experiencing ongoing transition toward more intensive commercial and mixed-use development. The subject property's location, size, and configuration make it well-suited for commercial use. These changing conditions support the appropriateness of C-2 zoning as a continuation of corridor growth and development.

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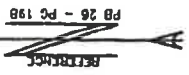
**(6) Reasonable Economic Use of Property as Currently Zoned**

**Answer:**

While the property is currently zoned R-3 (High Density Residential), the existing structure and layout are not ideally suited for traditional residential use without significant modification. The property's highway frontage and physical characteristics limit its viability as a residential development. Rezoning to C-2 will allow for a broader range of economically viable uses that are consistent with the property's location and design.

57112

57112  
PLAT 57  
1112



FILED  
HOUSTON COUNTY  
01 APR 12 AM 8:36  
CLEAR SWERDSON

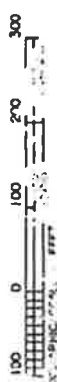
4/9/12  
Holt County Survey  
Surveyor  
*[Signature]*

SURVEY FOR  
**GREATER WORD OF  
DELIVERANCE MINISTRIES INC.**  
LAND LOT 53  
HOUSTON COUNTY,  
GEORGIA  
APR 11 3, 2001  
PLAT 57  
1112

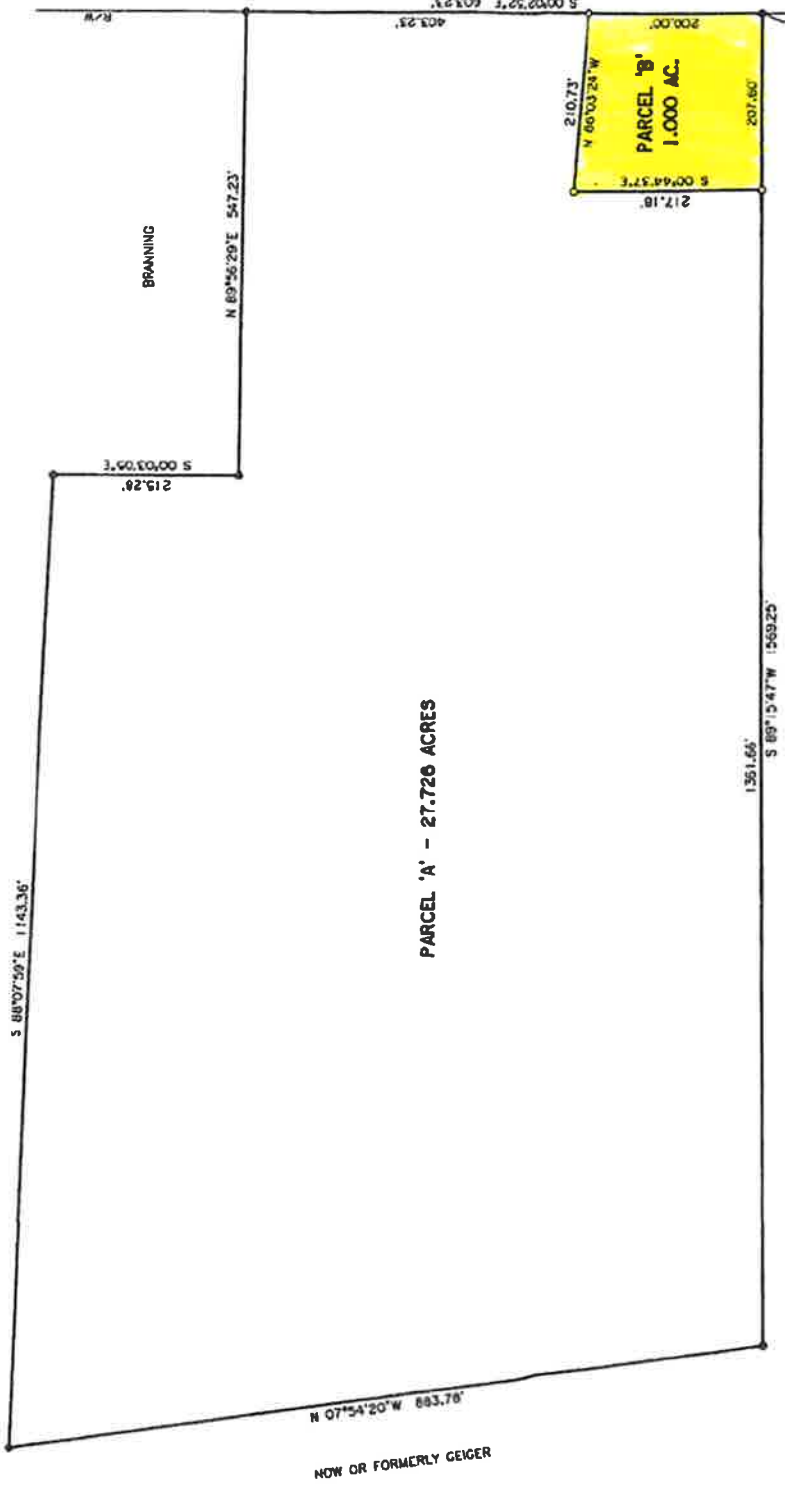


**CERTIFICATION**  
THE FIELD AND MEASUREMENTS MADE FOR THIS SURVEY WERE MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE SURVEYORS' BOARD OF THE STATE OF GEORGIA. THE PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 20,000 FEET.  
THE LINEAR AND ANGULAR MEASUREMENTS WERE MADE BY MEANS OF AN ELECTRONIC DISTANCE MEASURING DEVICE (EDM) AND AN ANGLE MEASURING INSTRUMENT (AMI) WITH AN ANGLE ERROR OF ONE FOOT IN 210,000 FEET AND AN ANGLE ERROR OF ONE SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.  
015-311-05  
11-3-01

REFERENCE:  
1. PLAT BOOK 26 - PAGE 272  
2. PLAT BOOK 26 - PAGE 198  
3. PLAT BOOK 40 - PAGE 201



APPROVED FOR RECORDING  
BY THE CLERK OF THE SUPERIOR COURT  
OF HOUSTON COUNTY, GEORGIA  
*[Signature]*



U.S. HIGHWAY 41 - 100' R/W

OF THOMPSON ROAD  
071.42' TO THE R/W

IVORY

HORTON

LEMLEY

BRANNING

PARCEL 'A' - 27.726 ACRES

PARCEL 'B'  
1.000 AC.

57112

57112



Doc ID: 018294150001 Type: GLR  
 Recorded: 08/16/2018 at 09:39:09 AM  
 Fee Amt: \$10.00 Page 1 of 1  
 Transfer Tax: \$0.00  
 Houston, Ga. Clerk Superior Court  
 Carolyn V. Sullivan Clerk

BK 7942 Pg. 346

(Above space for recording officer use.)

Due & Return: DAVID G. WALKER  
 WALKER, HULBERT, GRAY & MOORE, LLP 62170  
 909 BALL ST. \* P.O. BOX 1770  
 PERRY, GEORGIA 31069

FILE NO: P'02-#400

STATE OF GEORGIA  
 COUNTY OF HOUSTON

WARRANTY DEED

THIS INDENTURE, Made the 15<sup>th</sup> day of August, in the year two thousand eighteen, between

MILTON WYNN

of the County of Houston and State of Georgia, as party or parties of the first part, hereinafter called Grantor,

and

GENESIS HOUSE FOR THE HOMELESS, INC.

of the County of Houston and State of Georgia, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of Other Good and Valuable Considerations and ONE (\$1.00) and NO/100 \_\_\_\_\_ DOLLARS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, alienated, conveyed and confirmed and by these presents does grant, bargain, sell, alien, convey or confirm unto the said Grantee, all of the following property, to-wit:

All that tract or parcel of land situate, lying and being in Land Lot 53 of the Tenth Land District of Houston County, Georgia, being known and designated as parcel "B", comprising 1.000 acres, and having such shapes, metes, bounds, courses and distance as are shown on plat of survey prepared by Lee R. Jones, Land Surveyor, said plat dated April 3, 2001, and recorded in Plat Book 57, Page 112, Clerk's Office, Houston County, Georgia. Said plat of survey and the recorded copy thereof are hereby made a part of this description by reference thereto for all purposes.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor warrants and will forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered  
 in the presence of:

*Milton Wynn* [SEAL]  
 Milton Wynn

*Debra Mckinley*  
 Witness  
*Debra Mckinley*  
 Notary Public





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**STAFF REPORT**

June 2, 2026

**CASE NUMBER:** TEXT 0041-2026

**APPLICANT:** Joe Duffy for the City of Perry

**REQUEST:** Amend Subsection 6-9.9, *Nonresidential district sign standards to establish guidelines for monument and monopole signs and ground flags.*

**STAFF COMMENTS:**

The *IC, Interstate corridor overlay district*, is composed of lands adjacent to Interstate 75 (I-75) and is intended to regulate the placement of outdoor advertising signs along I-75, unfortunately no standards for ground signs have been clarified. This amendment seeks to establish permitting guidelines for Monument and Monopole signs, as well as ground flags.

**STANDARDS FOR GRANTING A TEXT AMENDMENT:**

- (1) **Whether, and the extent to which the proposed amendment is consistent with the Comprehensive Plan.** The amendment is not inconsistent with the Comprehensive Plan.
- (2) **Whether, and the extent to which the proposed amendment is consistent with the provisions of this chapter and related city regulations.** The proposed amendment is consistent with the format of the Land Management Ordinance.
- (3) **Whether, and the extent to which there are changed conditions from the conditions prevailing at the time that the original text was adopted.** The Interstate corridor overlay district was adopted with intent to regulate the placement of outdoor advertising along I-75, however no such standards were established for common types of ground mounted signs. Given the extent to which the I-75 adjacent parcels are unique within the City of Perry, it does make sense to follow through with guidelines intended to align with the interstate highway's presence.
- (4) **Whether, and the extent to which the proposed amendment addresses a demonstrated community need.** A demonstrated community need exists, in that businesses present within the Interstate Corridor Overlay do not have outdoor advertising standards established, as indicated were needed by the creation and intent of the overlay district.
- (5) **Whether, and the extent to which the proposed amendment is consistent with the purpose and intent of the zoning districts in this chapter, will promote compatibility among uses, and will promote efficient and responsible development within the city.** The amendment is consistent with the purpose and intent of the signage ordinance.
- (6) **Whether, and the extent to which the proposed amendment will result in logical and orderly development pattern.** The amendment is intended to encourage a more logical and orderly signage development pattern.
- (7) **Whether, and the extent to which the proposed amendment will result in beneficial impacts on the natural environment and its ecology, including, but not limited to, water, air, noise, stormwater management, wildlife, vegetation, and wetlands.** The amendment has no direct impact on the natural environment.

(8) Whether, and the extent to which the proposed amendment will result in development that is adequately served by public facilities and services (roads, potable water, sewerage, schools, parks, police, fire, and emergency medical facilities). The amendment has no impact on public facilities and services.

**STAFF RECOMMENDATION:**

Approval as submitted.

**ARTICLE 3. - ESTABLISHMENT OF ZONING DISTRICTS** (for reference on currently stated intent of IC district)

**Sec. 3-2. - District descriptions.**

(D) *Overlay zoning districts.* Overlay zoning districts provide additional regulations or restrictions on the based zoning districts over which they may be laid.

*IC, Interstate corridor overlay district.* This district is composed of lands adjacent to Interstate 75 (I-75). The new requirements are intended to regulate the placement of outdoor advertising signs along I-75.

Proposed additions to Section 6-9.6. *Nonresidential district sign standards* – including specifics within *Table 6-9-2.*

(A) *Ground signs in nonresidential districts.* Ground signs permitted in the nonresidential base zoning districts, and the PC, DD, IC and NC overlay districts shall comply with the provisions in *Table 6-9-2.*

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face			Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres	Lot size 3 acres or less			



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Application # TEXT-0041-2026

## Application for Text Amendment

Contact Community Development (478) 988-2720

### Applicant Information

*Indicates Required Field	Applicant
*Name	Joe Duffy for the City of Perry
*Title	Community Development Director
*Address	741 Main Street, Perry, GA 31069
*Phone	478-988-2714
*Email	joe.duffy@perry-ga.gov

### Request

**\*Please provide a summary of the proposed text amendment:**

Amendments to Subsection 6-9.6, *Nonresidential district sign standards*. The IC, *Interstate corridor overlay district*, is composed of lands adjacent to Interstate 75 (I-75) and is intended to regulate the placement of outdoor advertising signs along I-75, unfortunately no standards for ground signs have been clarified. This amendment seeks to establish permitting guidelines for Monument and Monopole signs, as well as ground flags.

### Instructions

- The application, fee (made payable to the City of Perry), and proposed text of the amendment must be received by the Community Development Office no later than 4:30 pm on the date reflected on the attached schedule.
- Fees: Actual cost of required public notice.
- The applicant must state the reason for the proposed text amendment. See Sections 2-2 and 2-3.2 of the Land Management Ordinance for more information.
- The staff will review the application to verify that all required information has been submitted. The staff will contact the applicant with a list of any deficiencies which must be corrected prior to placing the application on the planning commission agenda.
- Text amendment applications require an informational hearing before the planning commission and a public hearing before City Council.
- The applicant must be present at the hearings to present the application and answer questions that may arise.
- Campaign Notice required by O.C.G.A. Section 36-67A-3:** Within the past two years, have you, the applicant, made either campaign contributions and/or gifts totaling \$250.00 or more to a local government official? Yes \_\_\_ No X  
If yes, please complete and submit the attached Disclosure Form.
- The applicant affirms that all information submitted with this application, including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.
- Signatures:

*Applicant	 Joe Duffy, Director of Community Development, for the City of Perry	*Date	3/23/26
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### **Standards for Amendments to the Text of the Land Management Ordinance**

In reviewing an application for an amendment to the text of the ordinance and acting on said application, the planning commission and city council may consider the following standards:

**(1) Whether, and the extent to which the proposed amendment is consistent with the Comprehensive Plan.**

This amendment is not inconsistent with these plans.

**(2) Whether, and the extent to which the proposed amendment is consistent with the provisions of this chapter and related city regulations.**

The proposed amendment is consistent with the format of the Land Management Ordinance.

**(3) Whether, and the extent to which there are changed conditions from the conditions prevailing at the time that the original text was adopted.**

The Interstate corridor overlay district was adopted with intent to regulate the placement of outdoor advertising along I-75, however no such standards were established for common types of ground mounted signs. Given the extent to which the I-75 adjacent parcels are unique within the City of Perry, it does make sense to follow through with guidelines intended to align with the interstate highway's presence.

**(4) Whether, and the extent to which the proposed amendment addresses a demonstrated community need.**

A demonstrated community need exists, in that businesses present within the Interstate Corridor Overlay do not have outdoor advertising standards established, as indicated were needed by the creation and intent of the overlay district.

**(5) Whether, and the extent to which the proposed amendment is consistent with the purpose and intent of the zoning districts in this chapter, will promote compatibility among uses, and will promote efficient and responsible development within the city.**

The amendment is consistent with the purpose and intent of the signage ordinance.

**(6) Whether, and the extent to which the proposed amendment will result in logical and orderly development pattern.**

The amendment is intended to encourage a more logical and orderly signage development pattern.

**(7) Whether, and the extent to which the proposed amendment will result in beneficial impacts on the natural environment and its ecology, including, but not limited to, water, air, noise, stormwater management, wildlife, vegetation, and wetlands.**

The amendment has no direct impact on the natural environment.

**(8) Whether, and the extent to which the proposed amendment will result in development that is adequately served by public facilities and services (roads, potable water, sewerage, schools, parks, police, fire, and emergency medical facilities).**

The amendment has no impact on public facilities and services.

**ARTICLE 3. - ESTABLISHMENT OF ZONING DISTRICTS** (for reference on currently stated intent of IC district)

**Sec. 3-2. - District descriptions.**

(D) *Overlay zoning districts. Overlay zoning districts provide additional regulations or restrictions on the based zoning districts over which they may be laid.*

*IC, Interstate corridor overlay district. This district is composed of lands adjacent to Interstate 75 (I-75). The new requirements are intended to regulate the placement of outdoor advertising signs along I-75.*

**Proposed additions to Section 6-9.6. Nonresidential district sign standards – including specifics within Table 6-9-2.**

- (A) *Ground signs in nonresidential districts. Ground signs permitted in the nonresidential base zoning districts, and the PC, DD, IC and NC overlay districts shall comply with the provisions in Table 6-9-2.*

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face		Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres			
			Lot size 3 acres or less			

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face			Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres	Lot size 3 acres or less			
C-1, C-2 M-1, M-2 IMU, MUC, GU	Monument; Monopole	n/a	100	75	2	20	Internal or External
	Ground-mounted Flag	48 total per pole	n/a	n/a	3 flagpoles	35	External only
Interstate Corridor Overlay (IC)***	Monument; Monopole	n/a	100	75	1	100	Internal or External
	Ground-mounted Flag	Same as base zoning district					

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face			Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres	Lot size 3 acres or less			
Parkway Corridor Overlay (PC)	Monument	n/a	100	75	1 per street front	20	Internal or External
		Same as base zoning district					
LC, OI, NMU, Neighborhood Commercial Corridor Overlay (NC)	Monument; Post and Arm	32	n/a	n/a	1 per street front	15	External only
	Ground-mounted Flag	48 total per pole	n/a	n/a	1 flagpole	35	

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face			Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres	Lot size 3 acres or less			
C-3, Downtown Development Overlay (DD), Downtown Historic Preservation Overlay (HP)	Monument; Post and Arm	32 for Monument; 12 for Post and Arm	n/a	n/a	1 per street front	10	External; Internal by COA only*
	A-frame**	6	n/a	n/a	1 per tenant	4	Not allowed
	Ground-mounted Flag	48 total per pole	n/a	n/a	1 flagpole	35	External only

**Table 6-9-2. Standards for Ground Signs in Nonresidential Zoning and Overlay Districts**

Zoning and Overlay District	Sign Type	Maximum Square Feet per Sign Face			Maximum Number per Lot	Maximum Height (feet)	Illumination Allowed
		Not based on lot size	Lot size > 3 acres	Lot size 3 acres or less			
<p>All ground signs and flags shall be set back at least 10 feet from the property lines.</p> <p>* Certificates of appropriateness must be reviewed by the Main Street Advisory Board and issued by the administrator.</p> <p>** A-frame signs shall be located so an accessible pedestrian path is maintained on a sidewalk and shall be displayed only during the sign owner's business hours.</p> <p>***Notwithstanding these provisions, GDOT's regulations and standards control outdoor advertising signs as provided in the State Control of Signs and Signals, Georgia Outdoor Advertising Control Act, and the Highway Beautification Act of 1965.</p>							